



HORIZON GREEN VILLAGE

PROFILE



HORIZON GREEN VILLAGE PROFILE



INTRODUCTION



Horizon Green Village is a modern, eco-Friendly housing project pioneered by Horizon Properties. Horizon Properties is currently among the most trusted real estate companies on the Zambian real estate market and has diligently delivered on its assignment in its 20 years of existence.

The Green Village project is anchored on sustainability, modernity and affordability. The project is structured to be affordable to the average working-class Zambian both in formal and informal sector. It was officially launched on 23rd of October 2021.

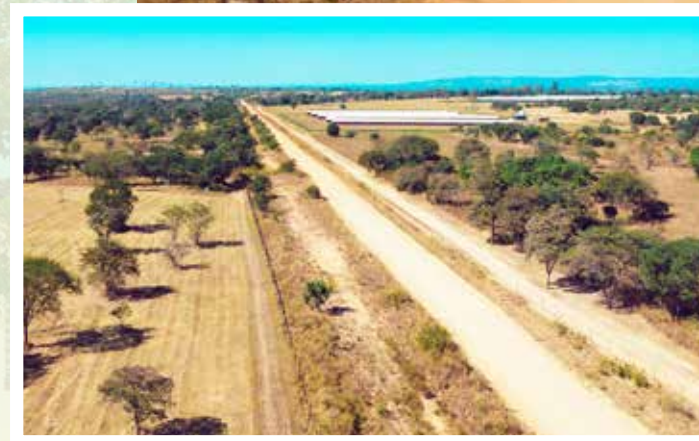
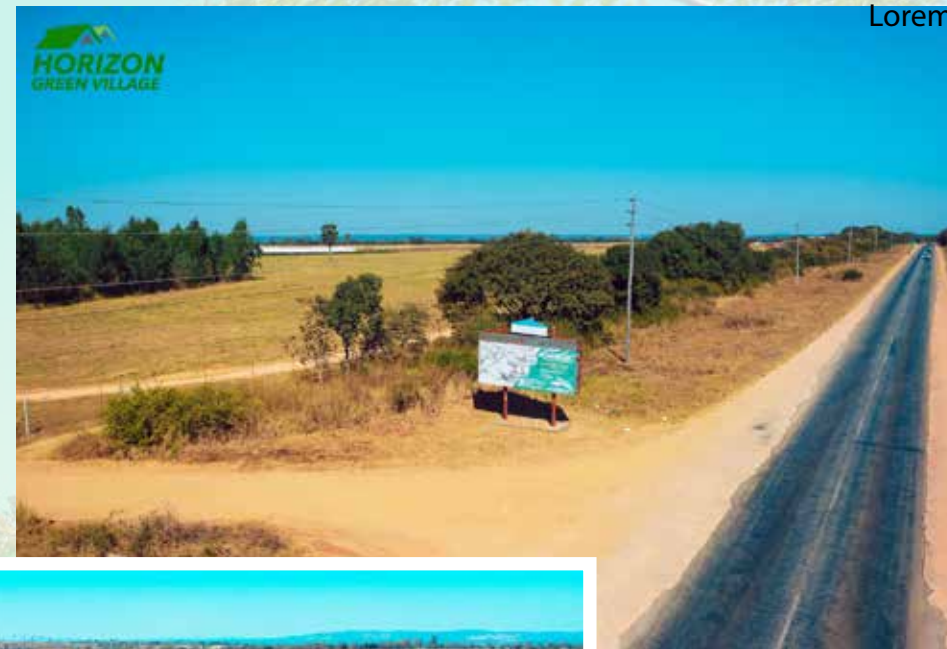


LOCATION



The project sits on a 580-acre estate and is located in Silverest extension, 20km from the airport round-about and 3km off Great East Road on a smooth Chalimbana gravel road, this road is earmarked to be tarred and has already been awarded to a contractor.

Lusaka East is among the most prime locations in the city, the location has distinguished itself by the quality of development and profile of its settlers.



VISION OF THE PROJECT



The driving force of the Green Village project is to create a green, beautiful living environment with exceptional order in the design concept and arrangement targeting everyone who values clean living and class.



PROJECT MILESTONES AND VALUE GENERATED



Before the official launch of the Green Village project milestones were set in order to foster a clean, green and beautiful modern gated community where people could live in harmony with nature. The following milestones were set and achieved:



BUILDING A 1KM FRONT WALL FENCE



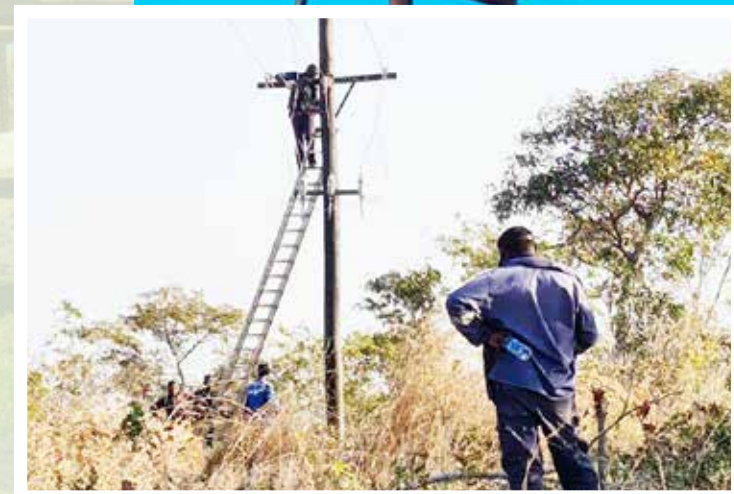
- This was set to be built before the launch on 23rd of October, 2021. We achieved this milestone including the main entrance to the project.
- This front wall boundary was done to enhanced Security and Aesthetics for the entire project.



POWER INSTALLATIONS



- The installation and connection of electricity supply was another milestone that we managed to achieve before launching the Green Village project.
- The availability of electricity has enabled our clients to move on-site and start their construction works, as electricity is readily accessible in close proximity.



CONSTRUCTION OF DEMO HOUSES:



- The construction of demo houses was a major task for us. We needed to show that it's possible to have a classy and clean environment that appeals to the upper class while remaining affordable for the average working class as well.



DEMO BIO-DIGESTER INSTALLATION



- To ensure that we were coming up with an eco-friendly project, we needed to demonstrate to our customers/ home buyers how the technology of biodigesters work. This was achieved within the set timeframe.
- The installation of advanced bio-digester sewer system showed that it was an environmentally friendly solution for waste disposal, in order to reduce the project's ecological footprint.



DEMO BIO-DIGESTER INSTALLATION



- Further, more bio- digester plants that will accommodate all residents within the Green Village project have been done.



WATER RETICULATION SYSTEM



- We have started implementing a sustainable water management will distribute water to all residents. This entails that no one allow to sink individual boreholes.
- Once the implementation process of a water reticulation system is done, it will ensure efficient water distribution, minimize wastage, and alleviate the strain on natural resources.



ROAD NETWORK WITHIN THE PROJECT



- Opening the project up was key to giving our clients access to their plots and facilitating the movement of their building materials. We also embarked on naming roads for easy identification.
- Two years down the line, the Green Village is well connected with a very good road network.



PROJECT LAUNCH:



- The project was officially launched on 23rd of October 2021. It was launched by the Minister of Infrastructure and urban development Hon. Charles Milupi. Other cabinet ministers that attended were minister of Health who happens to be the area member of parliament Hon. Sylvia Masebo and minister of Green economy and development Hon. Collins Nzovu among other senior government officials.



PROJECT LAUNCH:



- The presence of three cabinet ministers and other government officials at the project launch demonstrated government's support for the sustainable housing initiatives.
- It garnered media attention, enhancing the project's visibility, and fostering a positive reputation for the development.



THE CONCEPT OF THE PROJECT



The Green Village project is anchored on the following concepts;

- **Sustainability**
- **Modernity**
- **Affordability**



SUSTAINABILITY FEATURES



Sustainability features in the Green Village project include the following.

- **Embracing natural sources of energy.**



SUSTAINABILITY FEATURES CONT...



- Burning to clear is strictly prohibited



- No cutting down of trees



SUSTAINABILITY FEATURES CONT...



○ Bio-digester sewer management system



SUSTAINABILITY FEATURES CONT...



○ Zero littering



MODERNITY FEATURES



Modernity features in the Green Village project include the following,

- **Order of houses and proper planning**



MODERNITY FEATURES CONT...



 **Skillion roof type.**



MODERNITY FEATURES CONT...



○ Quality of structures built.



AFFORDABILITY



- The Green Village project is structured to be affordable to the average working-class Zambian both in the formal and informal sector.



AMENITIES AND FACILITIES



The needs of the families are at the core of the Green Village Project. Therefore, the developer has allocated 20 acres of land for the provision of retail, recreational and other facilities.

THE RETAIL FACILITIES;

- Mini shopping mall
- Supermarkets
- Grocery centers
- Markets.

THE RECREATIONAL FACILITIES WILL;

- Sports areas
- Children's play parks
- and green parks
- Botanical centers

OTHER FACILITIES;

- Police post
- Schools
- Mini hospital.

SERVICES



Horizon Green Village services include;

- A good road network which is nearing completion.
- Water reticulation using communal boreholes connected to every household.
- Electricity which is already on site.
- Sustainable sewage system that will see the
- Installation of biodigesters to every household.



PLOTS AND PRICING



Prices on plots in Green Village have continued to demonstrate the value the project keeps gaining.

As of 23rd October 2021, plots such as **20x22.5** and **20x30** were going for **K33,500** and **K45,000** respectively.

Currently, the **20x22.5** and **20x30** plots are going for **K75,000** and **K100,000** respectively.

Note: prices on plots are subject to change any time.



MODES OF PAYMENT



We have two modes of payments as indicated below,

- **Cash payment** – here you have an opportunity to have a discount on your purchase.
- **Payment plan** – First initial installment of 50% paid upon signing of offer letter, balance to be settled in installments.



ENVIRONMENTAL PROFILE



- The Green Village features sandy loamy soil which is perfect for growing healthy trees, as the soil holds and allows water to sip into the ground,
- The site has different beautiful species of Miombo Woodlands, and plans are underway to rehabilitate them through pruning to help them grow bigger and better shapes as trees and not shrubs,



Preserve our
trees, they support
life...

ENVIRONMENTAL PROFILE CONT...



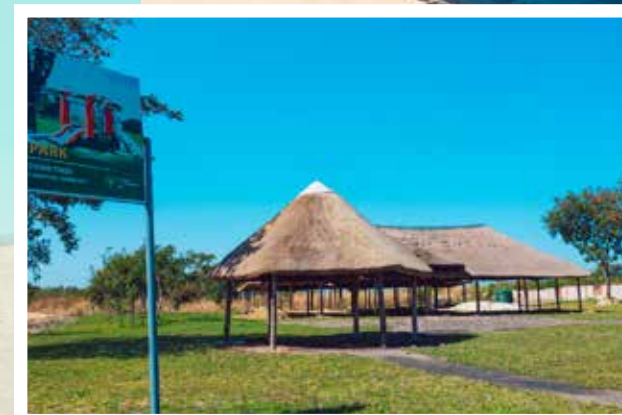
- A project of indigenous tree planting is underway for the preservation of our local species, and
- Green Village has some unique and rare tree species such as the Protea, Mubanga Scotsman, Rattle etc., which are under the protect and save" program.



WHY BUY INTO GREEN VILLAGE PROJECT



- Buy into this project because, The pricing is extremely competitive and affordable on both plots and complete houses.
- The developer is Horizon Properties Limited, a trusted Zambian household real estate brand known for its passion to deliver on its promises.
- A gated community with value acceleration of your property. The site is serviced with roads, power and water.
- Green and clean living where every community member has pledged to uphold the green living regulations.



WHY BUY INTO GREEN VILLAGE PROJECT



- Every buyer at Green Village subscribes to zero littering, afforestation, conserving energy and preserving nature
- The Green Village estate will be enclosed in a brick wall frontage and a living fence of close to 20,000 Acacia trees planted around the entire development.

- The Green Village location is only 20km from the airport round about and 2.5km off Great East Road on a smooth gravel road, the location is excellent.

The Green Village model for a uniformly developed estate is beautiful and orderly and it is set to be among the most aesthetically appealing housing estates affordable to even the average working-class Zambian.

REGULATIONS ON CONSTRUCTION IN GREEN VILLAGE



The following regulations are applicable in the Green Village project:

- All construction works to be done by fully registered and regulated contractors by NCC and EIZ.
- All roofs should be Skillion roof designs.
- No sinking of boreholes and soak ways.



FINANCING



Clients are allowed to access financing from various institutions if they want to build through a mortgage. Some of the financing options include the following:



zambia national building society
"Shelter Through Savings"



Zambian**HOME**LOANS



GREEN VILLAGE WHEN FULLY ESTABLISHED



- The housing project, when fully established will present modern and sustainable community that seamlessly blends with the surrounding environment.
- It will showcase and incorporate green spaces and landscaped gardens.
- Residents will enjoy a self sufficient water system and an advanced bio-digester sewer management system, ensuring a sustainable and eco-friendly lifestyle.
- The project will feature a wide array of amenities, including a shopping mall, mini hospital, sports complex, game ranch, markets, schools, police station and other recreational facilities.

GREEN VILLAGE WHEN FULLY ESTABLISHED



- The project will serve as a model for sustainable and affordable housing development, demonstrating how modern living can coexist harmoniously with environmental consciousness.





"Embracing Green"



Kabulonga Shopping

Complex Shopping 8
Kabulonga
Lusaka

+260 211 260 422

 Horizon Green Village Project
info@horizonproperties.com
thehorizonproperties.com/greenvillage

Sustainability | Modernity | Affordability